

PORTFOLIO SUBMISSION

Landscape Industry Certified Designer

JEN CUDDIE

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The documents enclosed herein are prepared for consideration by the examination panel for the certification of Jen Cuddie as a Landscape Designer as deemed by the criteria set forth by the Landscape Ontario and the CNLA.

CLIENT A RESIDENCE

Project Site A

Project Information

Clients: Client A

Site: Site Address

1) Project Site A – Client A

a) Statement of Design Intent

i) Description: The Nature of the Site

The Site

The property is located in mid town on a corner lot. The side yard space had been incorporated into the backyard several years ago by the erection of an existing fence and well established hedge on the street side, which afforded the clients a good deal of privacy in the backyard at ground level.

The existing landscape was constructed with materials that had become dated and were crumbling. The space had been divided in a way that made it difficult for the young family to repurpose areas for alternative uses. Some of the existing plant material had become overgrown and created further divisions in the space.

There was an old concrete water feature in the center of the yard that proved to be a bit of a hazard for their young girls. It had been covered over for this reason, and in an attempt to create more open space on the existing patio, however it in combination with the old raised beds, it broke up the space causing limited function and trip hazards on the existing patio. The crumbling steps leading up to the covered porch – a main access point into the house for the family – also created a hazard.

In the front yard my clients had quite a wide existing walkway. This is a unique feature to have on a downtown property. The pedestrian walkway was so wide, they found that new visitors to the home treated it as a driveway, due to the walkway being on the street that matched their address, when in fact the driveway was on the intersecting street.

ii) Conditions: Constraints as set out by the Client

Anticipated Area of Focus

Front Yard:

- Develop a landscape plan for the front yard to compliment the architecture of the home, and provide more practical function for the client.
- Consideration for adjusting the walkway to limit the ability for cars to pull into this area will be given.
- Maintain/ enhance "court yard" feeling of this space.
- Address grading in this area where the tree was removed.

Front Yard Design Features to Include:

- Developing a planting plan with low maintenance and seasonal interest in mind.
- Hardscaping materials will be recommended in keeping with the architectural direction of the residence/neighbourhood, and the personal style of the clients.

Side Yard (Driveway and Access Through Garage):

- Options for adjusting the fence and alternative configuration for the parking pad will be provided.
- Provide storage solutions for the access area between the garage and side yards.
- Address privacy on the porch.
- Explore incorporating an iron style gate.

- Consideration for storage of various garbage and recycling bins will be given, keeping in mind their destinations on garbage day. (split between the cross streets).

Back Yard:

- Explore material options and configuration for upper dining terrace.
- Address stairs and circulation down into the yard.
- Develop areas to accommodate lounging and larger dining parties (up to 10)
- Consideration for the BBQ location in relation to the family dining area will be given, and development of a built in unit explored.
- Include a storage shed in the yard, height of shed for maximum storage space will be considered.
- Develop areas to work with TPZs.
- Maintain some grass/ play area in the yard with consideration for repurposing the space as needs change.
- Treatments for fences to be explored.
- Explore options for a structure over the dining area.
- Consideration for incorporating a water feature will be given.

Back Yard Design Features to Include:

- Additional screening with plant material and/or solid structure to be considered.
- Develop a planting plan for the backyard with low maintenance and seasonal interest in mind.
- Incorporate colour with the plant material selections, develop a palette including white/green/pink/blue and purple.
- Consideration for excluding plants that attract large numbers of wasps will be given.
- Hard elements of the design will be selected to compliment the architecture of the house.
- Design ques: traditional and contemporary, with an element of secret garden.

iii) Design: The Design Selected

Master Plan –The Front Yard

The front yard was a unique space due to its size for a downtown lot. Our goal was to maximize its attributes and eliminate some of the problems in the new design. The walkway was narrowed at the sidewalk and two matching specimen ivory silk lilac trees were incorporated to more clearly define it as a pedestrian access point. The existing stairs into the residence were in good shape, and were to be maintained in an effort to allocate the budget to other areas of the project. The new walkway was also curved as the old one had been to unite it with the steps. The darker Warton banding updated the look and worked to draw the visitor up the walkway from the street.

A large tree had been removed near the sidewalk several years prior and the area needed to be re-graded. The large spruce on the east side of the walkway was to be maintained, but was pruned at the bottom to allow for some understory planting. The entrance to the residence is beautiful, but was hidden with overgrown vines. These were removed, and a layering of yew hedge and perennials were installed below the window to enhance the architecture.

Master Plan –The Back Yard

The back yard like the front was very overgrown. It had some existing features that needed to be addressed as they broke up the space and limited alternative function in the yard. The view from the existing patio to the lawn area was obstructed, and prevented my clients from watching their girls play. The design aimed to maximize on the existing benefits of the space, while addressing the areas that created challenges for the clients. The new design focused on allocating areas for different purposes, but also unifying the space by opening up the site lines.

The majority of the existing perimeter fence was maintained as it was still in good shape and worked in conjunction with the hedge to enclose the side yard and allow for its use as private space – enclosing a side yard can be a challenge in other instances due to fencing restrictions. The fence was adjusted in a few locations around the existing parking space to incorporate more garden into the backyard, and build in some storage in the driveway for garbage and recycling bins to get them out of the small garage. With the fence adjusted and a lot of the old plant material removed, a unique opportunity arose to use the existing columns onsite to create a pergola. This established the dining area as a destination in the garden, and provided some overhead privacy from the surrounding two story houses. Three existing columns were used to create the pergola, and a fourth was built to match them. All were reset on new footings so the height could be adjusted to create ample overhead space in the dining area.

A new built in barbeque was included in the design halfway between the existing covered porch and the new dining area, so the cook can interact with family and guests in any of the seating areas. The patio was designed to be large and open so the space can be adjusted to accommodate large and small gatherings. This also provides the opportunity for open play on the patio for the girls. Stepping stones and some topiary plantings were included to define the lawn area from the patio area, but maintain open sight lines so the adults could watch the children play on the lawn from the patio.

Three matching water features were incorporated into the garden space. The location for these was greatly considered. By placing them here, the clients and visitors are greeted by the sound of water when enter the back yard. The clients enjoy and spend a lot of time on their covered porch, and it provides a nice vantage point to the features. They are located next to lounge area, and there is a direct site line to them from the dining area as well.

A fire feature was also a consideration for this project, and included in the lounge area on a stone plinth to match the built in barbeque on the other side of the yard. Some larger plant material was included in the design to create some rhythm in the yard, and to interrupt some of the sight lines from neighboring two story houses.

The trampoline was incorporated in the lawn area, but set back into the garden bed and under planted with groundcover. This reduced the need for mowing around it, and provides the opportunity to easily convert the planting bed at a later date if the trampoline is removed.

The planting plan for the back yard was designed to include flowers for cutting, seasonal interest, and privacy where required. The planting is largely naturalized, with a few architectural hedges behind the dining area to create some contrast with the soft mixed massings.

Access to the back yard was also a key focus of the new design. Due to the layout of the residence on a corner lot, the existing covered porch leading into the kitchen was the primary access for the clients from the driveway. A few different stair configurations were considered, but a similar layout in better shape provided the best function for the clients. The hand rail was moved from the wall to the outside of the new steps to enhance safety. The existing gates were replaced with a new set of double gates. Multiple material options were considered, but new double cedar gates provided the desired combination of privacy, security and function for this main year round access point.

b) Photographic Summary

- i) Before; including narrative

Figure 1 - Before

Front Yard – From Street facing South.

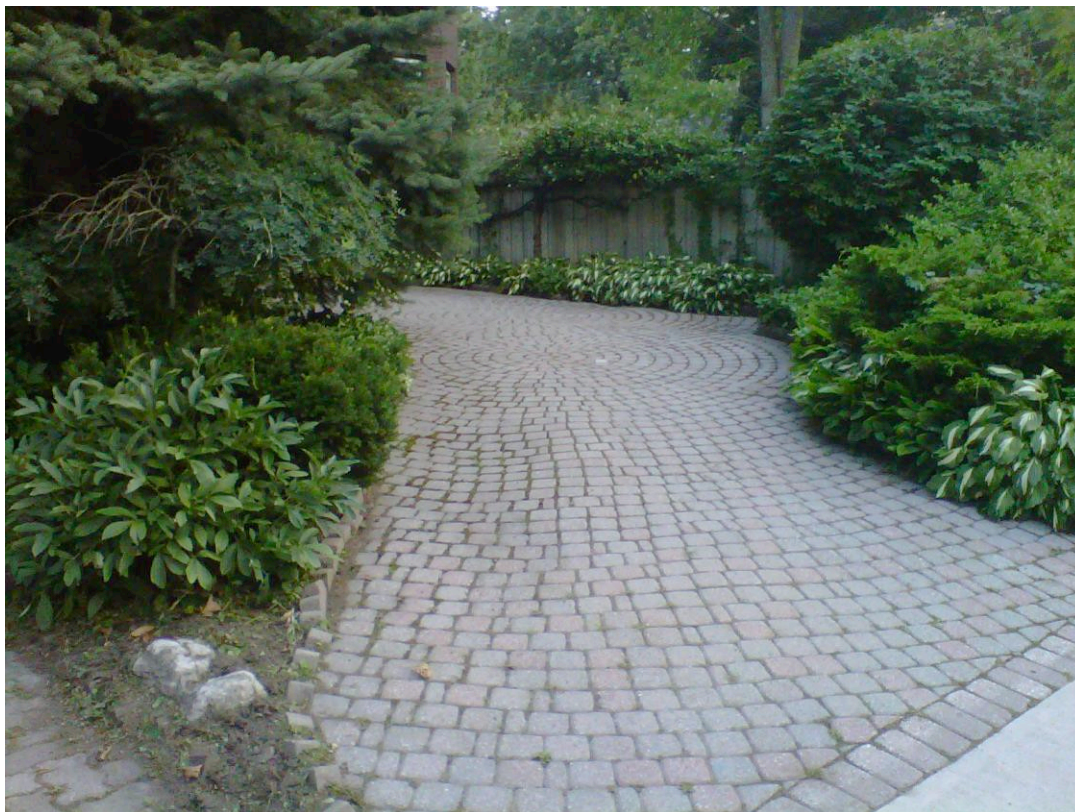


Figure 2 - Before

Front Yard – Approaching front door.

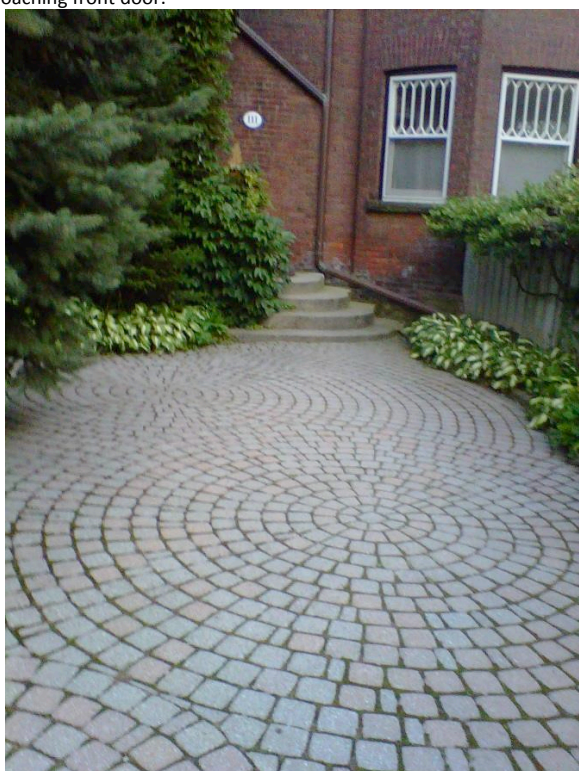


Figure 3 - Before

Rear Yard – From Driveway Facing North.

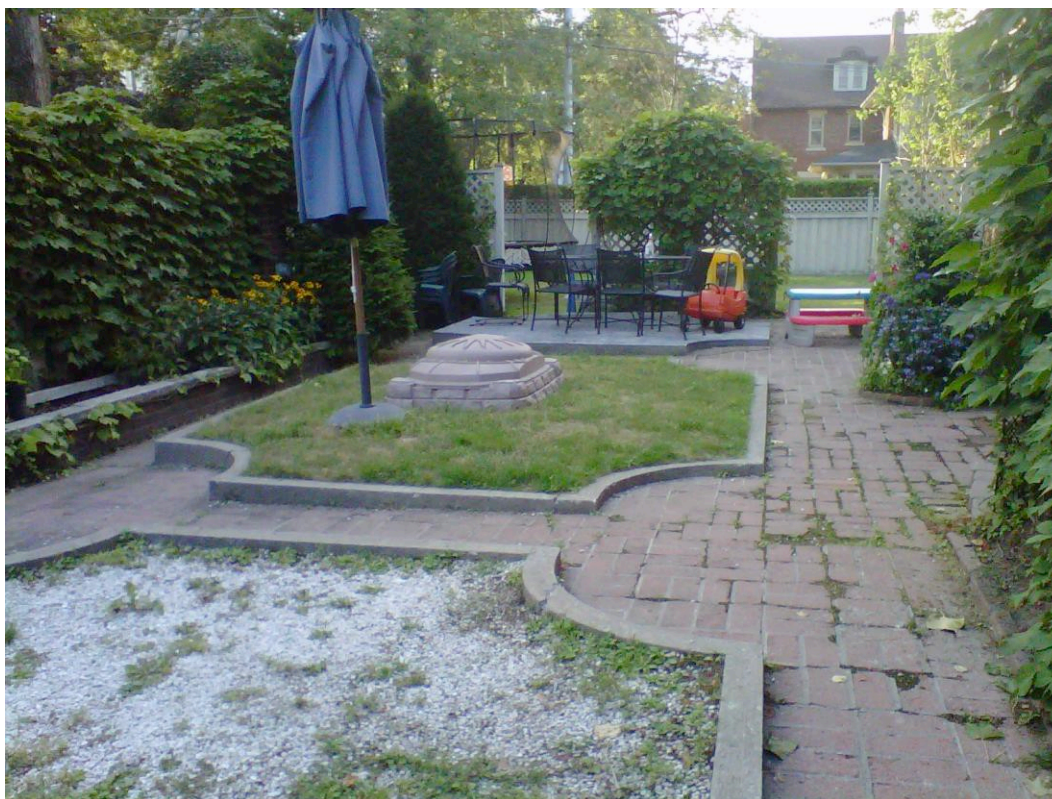


Figure 4 - Before

Rear Yard – From the residence looking West.



Figure 5 - Before

Rear Yard – Looking South, stairs leading to the existing porch.

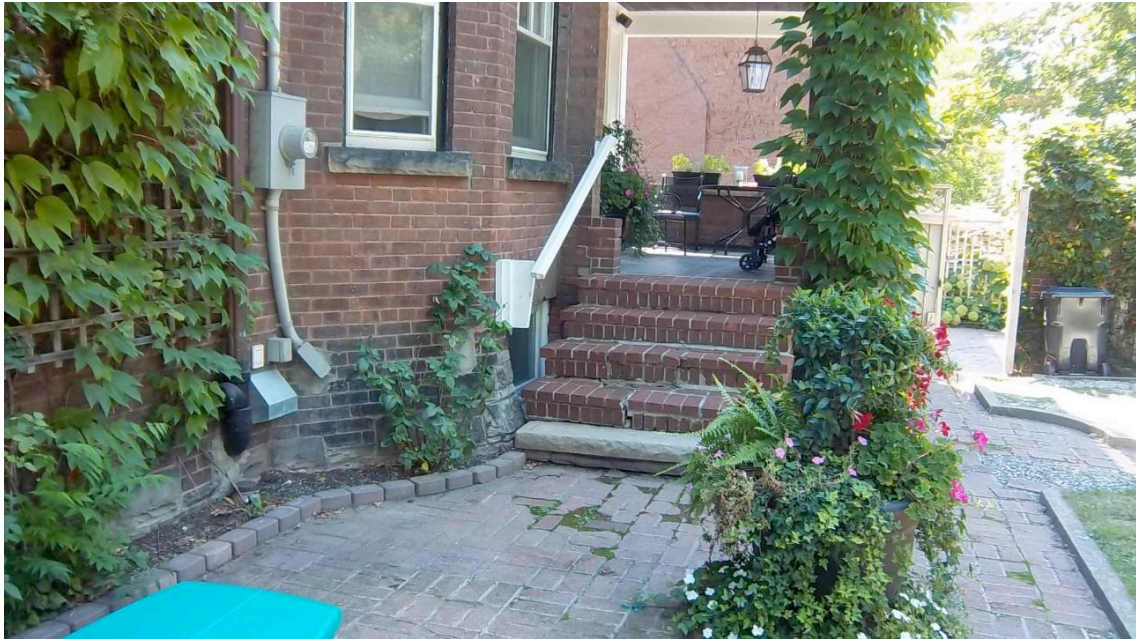


Figure 6 -Before

Rear Yard – From Fence looking South.



Figure 7 - Before

Rear Yard – From fence looking East.



ii) Production; including narrative

Figure 1 - Production

Front Yard – Plant layout – From Street looking South.

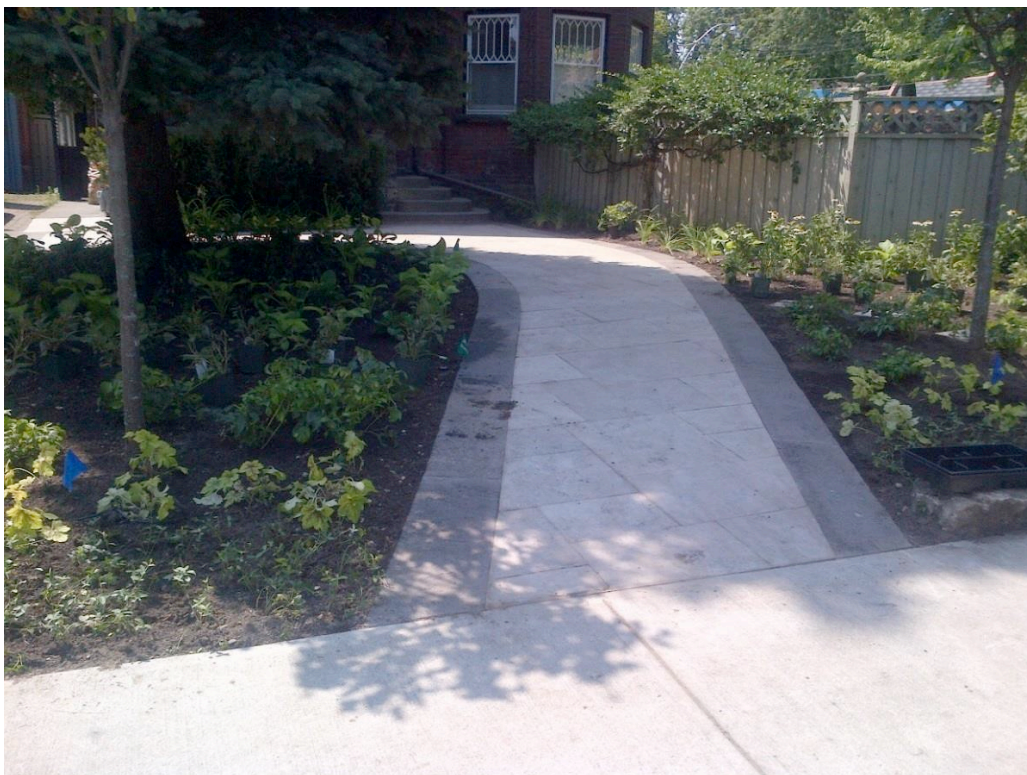


Figure 2 – Production

Rear Yard – From driveway looking North. Removals and excavation complete. New footings are constructed for the existing columns.



Figure 3 - Production

Rear Yard – From fence looking South East. Base preparation is beginning for the new walkway.



Figure 4 – Production

Rear Yard – The steps and walkway leading to the porch are complete. Planting is coming along. It's a VERY hot day, so lunches are placed in the shade. Railing measurements will be taken for fabrication to begin.



Figure 5 - Production

Rear Yard – From fence looking South. An existing concrete pond was demolished and filled in onsite ahead of base preparation for the patio.



iii) After ; including narrative

Figure 1 - After

Front Yard – From Street Looking North. One year later the plants are filling in nicely.

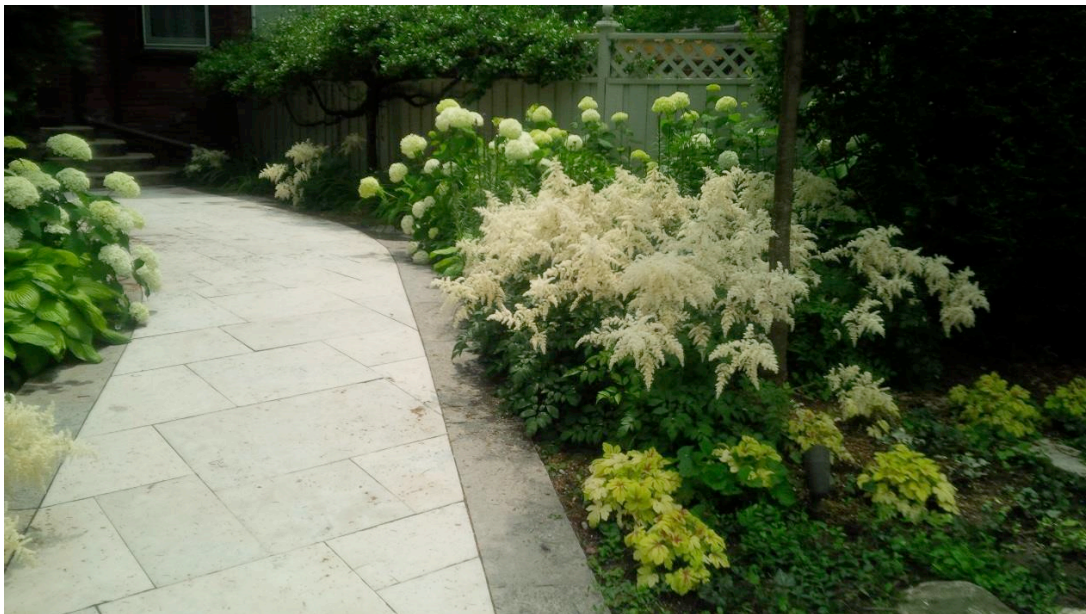


Figure 2 - After

Rear Yard – From the Driveway looking North. This is the first view into the backyard space, past the water features toward the finished pergola.



Figure 3 - After

Rear Yard – From the patio facing North East. This is the transition between the patio into the lawn and play area.



Figure 4 - After

Rear Yard – From fence looking South East.



Figure 5 - After

Rear Yard – From the entrance looking North. This view is through the garden and shows the pergola and lounge area around the fire feature.



Figure 6 - After

Rear Yard – Showing lounge area around fire feature.



Figure 7 - After

Rear Yard – Showing the built in BBQ.



c) Project Working Drawings

- i) Concept Plans – See Envelope “A”
- ii) Rendered, illustrative plans - See Envelope “A”
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- iv) Plant List

d) Project Budget

- i) Installation Budget

Landscape Construction Budget – Front and Back Yards

Mobilization - Entire Site \$\$\$

Equipment Float

- Skid Steer, Loader, Excavator.
- Includes float and supply of all heavy equipment required for the duration of the landscape construction project.
- Fees for machine operation are included within each work area.

Portable Washroom

- Washroom must be located within 15ft of the curb; allowing for access to facilitate cleaning.
- Special Requests to remove the portable washroom must be received 5 business days prior to an event that requires the removal of the unit.
- Please note: Portable Washrooms can *NOT* be picked up on Fridays.

Utility Locates

- All public and private areas that are within the proposed scope of work will require locates to be completed prior to construction start.
- Any Utilities that have been privately installed on the property should be reviewed with the Project Manager and Foreman.
- Additional fees for Private Locate Companies are not included within this item costing.

Notice of Project - Ministry of Labour

- Please post this document in a front window of the residence to allow for any Ministry of Labour Officials to easily view the paperwork.

Site Layout

- Softscape (Beds and Lawn Area) and Hardscape (Patios, Walkways, etc.) to be marked out and reviewed by Client.
- Grades to be confirmed by Crew prior to construction start.

Site Protection

- Hard surface Protection - Plywood to be placed on existing hard landscaped surfaces to prevent damage from disposal bins, equipment and material storage.

Demolitions/ Removals/ Excavations - Entire Site \$\$\$

Remove and dispose of the following materials off site:

- **Entire Site** - All tagged - to be removed plant material, front yard tree stump, low hanging branches under front yard tree
- **Front Yard**- walkway, existing rockery
- **Back Yard** - Existing steps, patio, concrete pool, retaining walls, tagged fencing around to-remain columns

Material disposal off site and associated disposal fees.

Excavate to allow for the installation of:

Hardscape Areas and Features: Pedestrian Surfaces - *Patios, walkways, Steps*

Softscape Areas and Features: Planting/Bedding Areas - *Lawn and Beds*

Excavations of hardscape and softscape areas include:

- Material Disposal off Site.
- Includes Associated Disposal Fees.

Conduits and Subtrade Coordination - \$\$\$

Conduits and Access Sleeves:

- Install 4" PVC Sleeves to allow for access beneath all Hardscape Areas as shown on the Landscape Plans.
- 2 (two) runs per location.

Sub Trade Coordination:

- Manage sub trade deliveries, trenching, and installations.
- Confirm locations of elements and site accessories related to sub trade work.

Rough-Ins - Gas - Back Yard - \$\$\$

Gas Line Installation: For Proposed Fire Feature and BBQ

- All lines to be 18" below grade with Sand backfill for pipe surround.
- "Caution Tape" to be laid along pipe.
- Trace wire to be laid along pipe.

Note:

- *This item is **TBD**. A site meeting with the sub trade is required for final coordination of all selected accessories to be addressed during*
- *Installation before a budget can be finalized. **\$0.00** is not indicative of final cost.*

Carpentry - Pergola - Back Yard - \$\$\$

New Pergola on Existing Columns:

- Form and construct one additional brick column to match existing site columns. (conduits for site features will be run up this column)
- Install 4 additional 6"x6" cedar posts as indicated on the landscape plan.
- Construct pergola frame using a combination of Douglas Fir 6"x8" beams with cedar cladding and waterproofing for spans over 8', and 2"x6" cedar joined to create 6" x 6" for all other cross beams.
- Install 2" x 6" ceiling as indicated on landscape plan.

Note:

- *Selected materials will be reviewed with the client, but may not be an exact match to existing site materials due to weathering.*
- *Some structural re-enforcement of existing columns may be required once construction begins - if required, a change order can will be issued at the time of discovery.*

Hardscape - Steps to Porch - Backyard - \$\$\$

Area of Work: Steps to Porch

Description of proposed work: Wet Laid Natural Stone on Concrete

Stone Installation - Specifications:

- Form and pour footings for steps.
- Form and pour steps.

Note: All concrete to be 32 MPA and re-enforced with 10 mm rebar. Install expansion joints where necessary.

- Clad the new steps with natural stone
- **Bedding:** Mortar - 50:50 Portland/Type S
- **Depth/Thickness:** 1"-1.5"
- **Material:** Wiarton buff – ledge rock vertical surfaces and Credit Valley treads
- **Jointing Tolerances:** 1/4" joints
- **Jointing:** Mortar - joints to be pointed

Notes:

- *Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.*
- *Railing is not included in this work area.*

Hardscape - Back Yard Patio - \$\$\$

Area of Work: Backyard Patio

Description of proposed work: Install new Wiarton combination patio and all related slab treads

Stone Installation - Specifications:

- **Base:** Compacted Granular "A"
- **Depth/Thickness of Base:** 4"-6" compacted to 98% S.P.D. (Standard Proctor Density)
- **Bedding:** Mortar - 50:50 Portland/Type S
- **Depth/Thickness:** 1"-1.5"
- **Material:** Credit Valley- 12" banding and slab treads, Wiarton Buff flamed field
- **Pattern:** Square cut random - banding as indicated on landscape plan
- **Jointing Tolerances:** maximum 1/4"
- **Jointing:** Polymeric Sand
- *Polymeric sand is to be applied while pavers are dry; with water being sprayed on surface to activate adhesive once material has been completely swept and compacted.*
- *This application is weather permitting - Polymeric Jointing Sand cannot be applied to the pavers if the surface has been recently wet - Dry conditions only for this application.*

Notes:

- *Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.*
- *This item includes additional labour and base material to fill and compact the area where the existing concrete pool will be excavated.*

Hardscape - Front Yard Walkway - \$\$\$

Area of Work: Front Yard Walkway

Description of proposed work: Install new Wiarton combination walkway

Stone Installation - Specifications:

- **Base:** Compacted Granular "A"
- **Depth/Thickness of Base:** 4"-6" compacted to 98% S.P.D. (Standard Proctor Density)

- **Bedding:** Mortar - 50:50 Portland/Type S
- **Depth/Thickness:** 1"-1.5"
- **Material:** Wiarton buff – 12" (+) pebbletop banding, flamed field
- **Pattern:** Square cut random - banding as indicated on landscape plan
- **Jointing Tolerances:** maximum 1/4"
- **Jointing:** Polymeric Sand
- *Polymeric sand is to be applied while pavers are dry; with water being sprayed on surface to activate adhesive once material has been completely swept and compacted.*
- *This application is weather permitting - Polymeric Jointing Sand cannot be applied to the pavers if the surface has been recently wet - Dry conditions only for this application.*
-

Note: Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.

Hardscape - Stepping Stones - Entire Site - \$\$\$

Area of Work: Stepping Stones

Description of proposed work: Install natural stone as per landscape plan; to be set in mortar.

Stone Installation - Specifications:

- **Base:** Compacted Granular
- **Bedding:** Mortar - 50:50 Portland: Type S
- **Depth/Thickness:** 1" - 1.5"
- **Material:** Wiarton pebble top
- **Width:** As per landscape plan

Special Considerations:

- Stone to be worked to allow for a uniform and regular top line in relation to the grades of the surrounding hardscape areas - review with client prior to final installation of material on site.
- Spacing between stones to be approx. 30" O.C. - to allow for a full stride based upon average pedestrian stride spans.

Note: Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.

Site Accessories - Railings Back Yard (Allowance) - \$\$\$

Area of Work: Railing for New Back Yard Steps

- Measurement of completed steps is necessary before railing fabrication can be completed.

Note: This item is an allowance for a customised pre-fabricated - black powder coated railing. Style and installation method must be finalized at a site meeting to finalize cost.

Site Accessories - Driveway Storage Shed - Back Yard - \$\$\$

- Supply and install one Bin Solution garbage and recycling storage center
- XL - 84, dimensions 84" x 40" x 64".
- The storage bin comes with adjustable legs, 4 - 1'x1' 4" concrete blocks will placed in the garden bed on gravel and set with mortar at the four corners of the bin to create a level surface to adjust the legs on.

- The bin will be slightly raised off grade to allow for water to move underneath to prevent rot on the bottom of the unit and allow for ventilation.

Note: Staining not included.

Site Accessories - Built in BBQ - Back Yard - \$\$\$

Area of Work: Built-in Kitchen

Notes:

- This work area does not include BBQ unit or stainless steel access doors.
- An allowance has been made to supply the counter top - selection to be finalized by client.
- This work area has allowed for installation time of both of the above.

Description of Work: Installing a concrete shell, ledge rock, appliance, access doors and counter.

- Construct vertical walls with concrete block and clad with wiarion ledge rock. **(pattern and facing to be finalized with client)**
- Install and connect BBQ, stainless steel access doors, and counter top.

Note: Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.

Site Accessories - Fire Feature - Back Yard (Allowance) - \$\$\$

Area of Work: Fire Feature

- Includes supply and placement of Napoleon Fire line feature.
- Natural gas connection if required, to be addressed in Rough-in Gas work area.

Note: this item is an allowance, details and selection of fire feature to be finalized with client.

Site Accessories - Water Features - Back Yard - \$\$\$

- Set stone slabs in garden bed on mortar for water feature bases.
- Supply and install three prefab water features, pumps and catch basins as indicated on landscape plan.
- Install polished river rock in catch basin.

Carpentry - Fence Adjustments/ Repairs/ New Gates - \$\$\$

- Includes post setting required to adjust the fence position between the back yard and the parking pad.
- Includes new fence panels to be installed at the end of the parking pad and between the existing driveway columns and the new storage shed.
- Includes new lattice to be installed where existing lattice is damaged.
- Includes new gates.

Softscape - Soilwork - Entire Site - \$\$\$

Planting Beds:

- Scarify, till and amend soil within the excavated planting beds to allow for healthy plant growth.
- Import soil to allow for bed heights to be consistent throughout planting areas.

Soil: Grow-Max by Growbark - High quality compost/soil blend

Softscape - Lawn - Backyard - \$\$\$

Lawn Areas: Yard Turf Area - as per plan

- Grade areas to allow for positive water drainage away from residence, and hard surfaces.

Soil: Custom Mix - Topsoil/Course Sand (50/50)

- To allow for water percolation through sub soil that has been compacted during construction

Sod: Install rolls evenly throughout space, cut and tuck ends as required.

Planting - Entire Site - (Allowance) - \$\$\$

Planting: Final plant selection and layout to be reviewed with Designer/Pro. Manager and Client prior to installation on site.

Planting Options are available for:

- Specimen Evergreens
- Specimen Deciduous Trees
- Hedging - Deciduous and Evergreen
- Flowering Trees
- Shrubs - Flowering and Non Flowering
- Perennials
- Ornamental Grasses
- Groundcovers

See Plant List following this Landscape and Construction Budget.

Colour scheme: To be finalized with Designer/Pro. Manager and Client prior to installation on site.

Fertilizing:

- All plants to be fertilized with Transplant Fertilizer - Liquid at time of installation on site.
- Transplant Sensitive and Caliper Trees are to be augmented with MYKE (an all natural product or biological growth supplement – MYCORRHIZAE)
 - Enhances Growth and favours root development
 - Reduces transplant shock
 - Increases resistance to water stress and root disease

Plant Material:

- All plant material shall conform to the standards of the Canadian Nursery Trades Association for size and species.
- All shrub and tree material shall be container, field potted, W/B or B/B, unless otherwise noted.
- Bare root planting shall be acceptable for certain species during early spring or late fall.

Planting Installation:

- All trees, shrubs, perennials and groundcovers to be planted as shown on the landscape plan.
- Plant size, quantity and specification as per landscape plan.
- The individual plant grouping illustrated on the landscape plan supersedes the master plan list on the plan.
- Any discrepancies are to be reported to the designer prior to the plant material being delivered or planted onsite.
- Landscaping works and planting to be undertaken as per above specifications and in conjunction with the guidelines and specifications as created by Landscape Ontario. <http://www.horttrades.com/landscape-guidelines>

PLANTING INSTALLED WITHOUT IRRIGATION SYSTEMS ARE NOT COVERED UNDER WARRANTY.

Note: This item is an allowance. Budget to be finalized and reviewed with client prior to the installation commencing on site. Availability at time of plant order will result in substitutions for the following: size, variety, cultivar, species. This information will be shared with the client; Oriole reserves the right to incorporate appropriate substitutions in regards to planting as required.

Site Accessories -Planters (Allowance) - \$\$\$

Area of Work: Planters - Back Yard

- Supply and install three Ellis 16"x 36" x20" planters with three sets of casters.
- Install plant material and a special blend of soil for planters.

Note:

- *Staining of caster carts is not included in this estimate.*
- *Coordination with a sub-trade who specializes in exterior staining can be arranged at completion of the project to match new stain to existing and address all new carpentry elements, and any staining maintenance desired at project completion.*
- *This item is an allowance based on selected size, quantity and style of planters. Details to be finalized with client.*

Lighting - Entire Site (Allowance) - \$\$\$

Landscape Lighting; Low Voltage and Line Voltage Fixture Installation

- Includes fixtures, transformer and timers.

Budget allowance for lighting of:

- Planting; Trees, Shrubs, Grasses and Perennials - Specimens and Massings
- Patio Areas and Walkways
- Carpentry Features
- Water features
- Ornamental Sculptures and Site Accessories
- Background and Ambient

Notes:

- On site meeting for layout confirmation and logistical planning required.
- Client meeting for review of fixtures and finishes required prior to installation.
- Control location to be finalized with client.
- Panel Access required for installation.

Project Closeout - Entire Site - \$\$\$

Final Restoration of Site:

- Power wash all hard surfaces.
- Machine and construction material removal from site.
- Removal of hoarding/site protection.
- Road way to be cleaned after machinery float to yard has been completed - large soil debris/gravel to be cleaned up/removed.
- Client walkthrough to review planted features, warranty, maintenance requirements, general questions.

Pricing:

Sub Total: \$\$\$

H.S.T.: \$\$\$

Total: \$\$\$

Change Orders

Change Order 1

Hardscape - Stone Plinth for Fire Feature - Backyard - \$\$\$

Area of Work: Natural Stone Plinth for Fire Feature

Description of proposed work: Wet laid Natural Stone on Concrete. The plinth will be 16" high +/-, 56" long, and 22" wide. The coping will over hang 1" on all sides for finished dimensions of 16" height +/-, 58" length and 24" width. The dimensions of the Fire Feature are 12" height x 52" length and 18" width.

Stone Installation - Specifications: Form and pour footing and Plinth structure on gravel bedding.

Note: *all concrete to be 32 MPA and re-enforced with 10 mm rebar.*

- Clad the plinth with natural stone to match steps
- **Bedding:** Mortar - 50:50 Portland/Type S
- **Depth/Thickness:** 1"-1.5"
- **Material:** Wiarton buff - a combination of pebbletop coping and ledge rock vertical surfaces.
- **Jointing Tolerances:** 1/4" joints
- **Jointing:** Mortar - joints to be pointed

Notes:

- *Natural stone varies in colour and texture; all stones have range in colour and variation in texture and surface undulation from stone to stone is acceptable and normal for all natural stone.*
- *Final finished height of plinth is a +/- range of 16" due to ledge rock height and mortar tolerances.*

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 2

Credit- Fire Feature-Back Yard (-\$\$\$)

Credit for Fire feature and delivery from original budget. To be purchased directly by client.

Credit -Planters -\$\$\$

Credit for 3 Ellis planters (36" x 16") and 3 sets of casters.

Subtotal: (-\$\$\$)

Taxes: (-\$\$\$)

Estimate Total: (-\$\$\$)

Change Order 3

Hardscape - Column Adjustment -Driveway and Fence Line - \$\$\$

Area of Work: Column Adjustment - Driveway and West Fence line Column

Description of proposed work: Adjust and Reinforce Two Existing Columns

Stone Installation - Specifications:

- Excavate area surrounding column foundation.
- Parge existing foundation.
- Lift existing columns off existing foundation using a crane truck and reinforce by installing 15mm rebar (4 pieces per column) into the center of each existing column).
- Install mortar bed on top of the existing foundation before lowering the column back in to position and secure it.
- Parge any existing below grade brick damaged by past frost.
- Replace/ re-point any above grade brick with existing site material as required. (approximately 15 -30% per column).

Hardscape - Column Adjustment - Pergola - \$\$\$

Area of Work: Column Adjustment - To become new Pergola Columns

Description of proposed work: Adjust and Reinforce Three Existing Columns

Stone Installation - Specifications:

- Excavate area surrounding column foundation.
- Parge existing foundation.
- Lift existing columns off existing foundation using a crane truck and reinforce by installing 15mm rebar (4 pieces per column) into the center of each existing column.
- Install mortar bed on top of the existing foundation before lowering the column back in to position and secure it.
- Parge any existing below grade brick damaged by past frost.
- Replace/ re-point any above grade brick with existing site material as required. (approximately 15 -30% per column).
- Add an additional 3 courses of brick to the top of the three existing columns, and replace existing coping with credit valley coping to match the proposed new column.

Note: *If a column begins to break up as it's being hoisted or if condition of footing is not satisfactory, column replacement will be reviewed with client. Column replacement for columns noted in this scope of work is not included.*

Pricing: Taxes:

\$\$\$

Sub Total: \$\$\$

Total: \$\$\$

Change Order 4

Hardscape - New Column Footing at Driveway \$\$\$

Area of Work: Driveway

Description of proposed work: Column Adjustment and Footing

Stone Installation - Specifications:

- Lift Existing column.
- Excavate and dispose of existing footing.
- Form and Pour new concrete footing.
- Install new concrete block.
- Crane, level and secure existing column back onto the new footing.
- Replace/ re-point any above grade brick with existing site material as required. (approximately 15 -30%).

***Note:** If a column begins to break up as it's being hoisted or if condition of footing is not satisfactory, column replacement will be reviewed with client. Column replacement for columns noted in this scope of work is not included.*

Gas Supply to BBQ and Fire Feature - \$\$\$

Area of Work: Gas Supply

Description of Proposed Work: Supply and install underground gas connection to Built in BBQ and Outdoor Fire Feature

Installation Specifications:

- 15' of 1" steel gas piping from existing gas supply to exterior wall
- 10' of 3/4" CSST from steel supply to bbq
- 25' of 1" CTS from steel supply to rear of outdoor fireplace connections, pressure test and shut off valves.

Additional Fence Posts and Panels - \$\$\$

Area of Work: Backyard

Description of Proposed Work: Supply labour and materials to install three new fence panels and two new fence posts once all brick columns are adjusted.

Installation Specifications:

- Removed and dispose of existing fence panels, posts and footings off site.
- Install new sono tube footings and two new 4" x 4" fence posts.
- Build three new panels of fence to match existing fence style.

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 5

Copper Downspout Redirection and Drainage Work - \$\$\$

Area of Work: Front and Back Yard

Description of proposed work: Downspout Redirection and Runoff Management

Stone Installation - Specifications:

- Copper work by **High End Roofing** to extend two existing downspouts.
- North/East corner - Supply and install approx. 22 L.ft of corrugated copper down spout and 4 custom made elbows.
- South/West side behind BBQ - Supply and install approx. 12 L.ft of corrugated 4" copper downspout and two custom made elbows.

Work by Oriole Landscaping:

- Cut back and purge existing PVC piping currently feeding downspouts into the residence.
- Supply and installation of catch basins in the garden beds below extended, day-lighted copper extensions. (2 locations).
- Trenching and placement of approx. 40 L.ft of weeping tile from catch basins under hard surfaces in the front and backyard to manage run off from downspouts and direct water away from the residence.

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 6

Carpentry - Pergola Design Modification - Back Yard - \$\$\$

New Pergola on Existing Columns:

- Includes supply and installation of glulam beams to cover a 19' span.
- Includes engineering services required to review pergola structure.

Notes:

- *Selected materials will be reviewed with the client, but may not be an exact match to existing site materials due to weathering.*
- *Staining is not included in this estimate. Coordination with a sub-trade who specializes in exterior staining can be arranged at completion of the project to match new stain to existing and address all new carpentry elements, and any staining maintenance desired at project completion.*

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 7

Driveway Fixtures - \$\$\$

Area of Work: Driveway

Description of proposed work: Install lights on existing columns to illuminate driveway area

Stone Installation - Specifications:

- Includes supply and installation of 2 hunza down lite-painted fixtures

Outdoor Sound System Extension (Allowance) - \$\$\$

Area of Work: Outdoor Speaker Extension

Description of Proposed Work: Expand on existing sound system on the exterior of the house to include an additional pair of speakers in the new pergola.

Installation Specifications:

- This budget includes; Labour, speakers and additional materials for wiring into the existing system.

Industrial Coded Lock - \$\$\$

Area of Work: Driveway Gates

Description of Proposed Work: Supply of one Specialty Coded Industrial Lock with Key Passage Function

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 8**Front Yard Spruce Tree - \$\$\$**

Area of Work: Front Yard

Description of proposed work: Install tree mounted down lights on the Spruce tree in the front yard.

Stone Installation - Specifications:

- Includes supply and installation of 2 Hadco black flood lights

Outdoor Sound System Addition \$\$\$

Area of Work: Outdoor Speaker Addition

Description of Proposed Work: Expand on existing sound system on the exterior of the house to include an additional pair of speakers to be mounted on the BBQ and to the South of the Fire Feature.

Installation Specifications:

- This budget includes; Labour, speakers (two speakers with left and right balance), volume control, and additional materials for wiring into the existing system.

Pricing:

Sub Total: \$\$\$

Taxes: \$\$\$

Total: \$\$\$

Change Order 9**Site Accessory - Railing - \$\$\$****Area of Work:** Back Yard**Description of proposed work:** Additional details to be included on forged steel railing.**Stone Installation - Specifications:**

- Includes custom hand forged steel hand rail as per sample.
- Upgraded picket detail.
- Flat black enamel paint.

Pricing:**Sub Total:** \$\$\$**Taxes:** \$\$\$**Total:** \$\$\$

ii) Materials List, Quantities and Costing

Original Landscape Construction Contract

Mobilization - Entire Site	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Unit Cost	Qty /Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt		Hours	\$	\$	\$	\$	%
Labour - Support		Hours	\$	\$	\$	\$	%
Construction and Planting Crew		Hours	\$	\$	\$	\$	%
Crew Truck - Landscape		Days	\$	\$	\$	\$	%
Trailer - Tandem 5 ton		Days	\$	\$	\$	\$	%
Tree Stakes		4 Each	\$	\$	\$	\$	%
Safety Fence - Size		1 Roll	\$	\$	\$	\$	%
Tie Wire- For Rebar or Safety Fence		0.1 Rolls	\$	\$	\$	\$	%
Portable Washroom		1 Month	\$	\$	\$	\$	%
Plywood		6 Each	\$	\$	\$	\$	%

Demolitions/ Removals/ Excavations - Entire Site	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Excavator - 5' to 6.5' wide	Days	\$	\$	\$	\$	%
Excavator - Attachment -Auger - Demo Hammer	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
Disposal -Branches	4 Yard	\$	\$	\$	\$	%
Disposal -Demolition Waste	4 Ton	\$	\$	\$	\$	%
DISPOSAL - Cleanfill or Concrete Rubble	6 Each	\$	\$	\$	\$	%

Conduits and Sub trade Coordination	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/ Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
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Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Conduit -PVC Pipe 4"	12 Each	\$	\$	\$	\$	%
Conduit -PVC Misc. Connectors	8 Each	\$	\$	\$	\$	%

Rough-Ins - Gas - Back Yard (TBD)	Total Cost	Total Price	Profit Margin
	\$	\$	n/a

Carpentry - Pergola – Back Yard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Carpentry Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Crew Truck - Carpentry	Days	\$	\$	\$	\$	%
Engineering - Mitko	1 Each	\$	\$	\$	\$	%
Coping -Credit Valley	4 Sq.Ft	\$	\$	\$	\$	%
Materials -Allowance	1 Each	\$	\$	\$	\$	%

Hardscape - Steps to Porch - Backyard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
FOOTINGS						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Forming Lumber -Allowance	1 Each	\$	\$	\$	\$	%
Metal Stakes - 18-24-36	18 Each	\$	\$	\$	\$	%
Rebar 10mm	4 Each	\$	\$	\$	\$	%
Tie Wire- For Rebar or Safety Fence	0.1 Rolls	\$	\$	\$	\$	%
Rebar Shoes	4 Each	\$	\$	\$	\$	%
Concrete Ready Mix 32mpa w/Air	2 Cu.Meters	\$	\$	\$	\$	%

Gravel -Clear -HPB 1/4"	1 Metric Tons	\$	\$	\$	\$	%
STEPS						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
ZZ - Concrete Vibrator	Days	\$	\$	\$	\$	%
Forming Forms - Various	1 Each	\$	\$	\$	\$	%
Rebar 10mm	6 Each	\$	\$	\$	\$	%
Tie Wire- For Rebar or Safety Fence	0.1 Rolls	\$	\$	\$	\$	%
Concrete Ready Mix 32mpa w/Air	6 Cu.Meters	\$	\$	\$	\$	%
NATURAL STONE WORK						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
ZZ - Cement mixer	Days	\$	\$	\$	\$	%
Delivery	1 Each	\$	\$	\$	\$	%
Coping -Wiarnton 02" thick	28 Sq.Ft	\$	\$	\$	\$	%
Ledge rock -Wiarnton	15 Fc.Ft	\$	\$	\$	\$	%
Cement -Type S	4 Bags	\$	\$	\$	\$	%
Sand -Brick	0.5 Metric Tons	\$	\$	\$	\$	%

Hardscape - Back Yard Patio	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
ZZ - Plate Compactor	Days	\$	\$	\$	\$	%
Gravel -Granular A	15 Yard	\$	\$	\$	\$	%
Cement -Portland	10 Bag	\$	\$	\$	\$	%
Polymeric Jointing Sand	10 Bag	\$	\$	\$	\$	%
Delivery	1 Each	\$	\$	\$	\$	%
Flag -Square Cut -Ebel - 24x30 and larger Grade A	775 Sq.Ft	\$	\$	\$	\$	%
Flag -Square Cut -Ebel - 12" wide and larger Grade A	172 Sq.Ft	\$	\$	\$	\$	%
Steps -Wiarnton 06" thick	14 Sq.Ft	\$	\$	\$	\$	%

Hardscape - Front Yard Walkway	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%

Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
Gravel -Granular A	5 Yard	\$	\$	\$	\$	%
Cement -Portland	5 Bag	\$	\$	\$	\$	%
Polymeric Jointing Sand	5 Bag	\$	\$	\$	\$	%
Delivery	1 Each	\$	\$	\$	\$	%
Flag -Square Cut -Ebel - 24x30 and larger Grade A	345 Sq.Ft	\$	\$	\$	\$	%
Flag -Square Cut -Ebel -12"	142 Sq.Ft	\$	\$	\$	\$	%

Hardscape - Stepping Stones - Entire Site	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
Gravel -Granular A	0.5 Yard	\$	\$	\$	\$	%
Cement -Portland	1 Bag	\$	\$	\$	\$	%
Sand -Concrete	0.25 Yard	\$	\$	\$	\$	%
Cement -Portland	2 Bag	\$	\$	\$	\$	%
Cement -Type S	2 Bags	\$	\$	\$	\$	%
Delivery Fee (Delivery Specific)	1 Each	\$	\$	\$	\$	%
Flag -Square Cut -Ebel - 24x30 and larger Grade A	38 Sq.Ft	\$	\$	\$	\$	%
Coping -Wiarnton 02" thick	40 Sq.Ft	\$	\$	\$	\$	%

Site Accessories - Railings Back Yard (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Landscape Gate and Garden	1 Each	\$	\$	\$	\$	%

Site Accessories - Driveway Storage Shed - Back Yard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
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Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Allowance – Bin Solution	1 Each	\$	\$	\$	\$	%
Gravel -Granular A	0.25 Yard	\$	\$	\$	\$	%
Concrete Block 04"	4 Each	\$	\$	\$	\$	%

Site Accessories - Built in BBQ - Back Yard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
ZZ - Cement mixer	Days	\$	\$	\$	\$	%
BLOCK WORK						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Concrete Block 06"	120 Each	\$	\$	\$	\$	%
Cement -Type S	6 Bags	\$	\$	\$	\$	%
LEDGEROCK						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Cement -Type S	4 Bags	\$	\$	\$	\$	%
Sand -Brick	0.5 Yard	\$	\$	\$	\$	%
Ledge rock -Wiarnton	60 Fc.Ft	\$	\$	\$	\$	%
Delivery Fee (Delivery Specific)	1 Each	\$	\$	\$	\$	%
APPLIANCE AND COUNTER SETTING						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Cement -Type S	1 Bags	\$	\$	\$	\$	%
Cement -Portland	1 Bag	\$	\$	\$	\$	%
Sand -Concrete	0.25 Yard	\$	\$	\$	\$	%
Allowance – Eramosa Counter Top	1 Each	\$	\$	\$	\$	%

Site Accessories - Fire Feature - Back Yard (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Pric	Pft.M
Client Mgmt	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Allowance – Fire Feature	1 Each	\$	\$	\$	\$	%

Site Accessories - Water Features - Back Yard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Allowance – Water Features	1 Each	\$	\$	\$	\$	%
Flag -Square Cut -Ebel - 24x30 and larger Grade A	12 Sq.Ft	\$	\$	\$	\$	%
Beach Pebble -Black - 1/2x1	12 Bags	\$	\$	\$	\$	%

Carpentry - Fence Adjustments/ Repairs/ New Gates	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Carpentry Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Carpentry	Days	\$	\$	\$	\$	%
Cedar 5/4x06	76 L.Ft	\$	\$	\$	\$	%
Cedar 2x04	144 L.Ft	\$	\$	\$	\$	%
Cedar 4x04	36 L.Ft	\$	\$	\$	\$	%
Cedar -Lattice - 4ftx8ft	3 Each	\$	\$	\$	\$	%
Fasteners and Associated Hardware/Sundries - Allowance	1 Each	\$	\$	\$	\$	%
Sonotube 10" - 12ft length	1 Each	\$	\$	\$	\$	%
Concrete - Sakrete (Small Quantities - 50 lbs bag	10 Each	\$	\$	\$	\$	%

Softscape - Soilwork - Entire Site	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
ZZ - Roto-tiller	Days	\$	\$	\$	\$	%
Soil -Grow Max	17 Cu.Yd	\$	\$	\$	\$	%

Delivery	1 Each	\$	\$	\$	\$	%
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Softscape - Lawn - Backyard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Skid Steer 6' and smaller	Days	\$	\$	\$	\$	%
Soil -Top Soil	5 Cu.Yd	\$	\$	\$	\$	%
Sod	95 Rolls	\$	\$	\$	\$	%

Planting - Entire Site - (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
Plant Material -Allowance (NO LABOUR)	1 Each	\$	\$	\$	\$	%
Fertilizer	1 Each	\$	\$	\$	\$	%

Site Accessories -Planters (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Vermiculite	3 Each	\$	\$	\$	\$	%
Allowance - 3 Ellis planters (16"x36") and 3 sets of casters	1 Each	\$	\$	\$	\$	%

Lighting - Entire Site (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%

LANDSCAPE LIGHTING	1 Each	\$	\$	\$	\$	%
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Project Closeout - Entire Site	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Landscape	Days	\$	\$	\$	\$	%
ZZ - Power Washer	Days	\$	\$	\$	\$	%
Disposal -Demolition Waste (Oriole Truck)	1 ton	\$	\$	\$	\$	%

Change Orders

CO#1 Hardscape - Column Adjustment -Driveway and Fence Line	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Labour – Crane Operator	Hours	\$	\$	\$	\$	%
Crane - Oriole Crane Truck	Day	\$	\$	\$	\$	%
ZZ - Cement mixer	Days	\$	\$	\$	\$	%
Disposal -Concrete (Oriole Truck)	1 ton	\$	\$	\$	\$	%
Rebar 15mm - 20ft	4 Each	\$	\$	\$	\$	%
Sand -Brick	0.5 Metric Tons	\$	\$	\$	\$	%
Cement -Portland	10 Bag	\$	\$	\$	\$	%
Cement -Type S	2 Bags	\$	\$	\$	\$	%

CO # 1Hardscape - Column Adjustment - Pergola	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%
Crane	Day	\$	\$	\$	\$	%
ZZ - Cement mixer	Day	\$	\$	\$	\$	%
Disposal -Concrete (Oriole Truck)	1 ton	\$	\$	\$	\$	%
Rebar 15mm - 20ft	8 Each	\$	\$	\$	\$	%
Sand -Concrete	1 Metric Tons	\$	\$	\$	\$	%
Cement -Portland	15 Bag	\$	\$	\$	\$	%
Coping -Credit Valley	12 Sq.Ft	\$	\$	\$	\$	%
Cement - Type S	3 Bags	\$	\$	\$	\$	%
PT 4"x04"	48 L.Ft	\$	\$	\$	\$	%

CO #2 Hardscape - Stone Plinth for Fire Feature - Backyard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
FOOTING						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Forming Lumber -Allowance	1 Each	\$	\$	\$	\$	%
Metal Stakes - 18-24-36	6 Each	\$	\$	\$	\$	%
Rebar 10mm	1 Each	\$	\$	\$	\$	%
Concrete Ready Mix 32mpa w/Air	0.75 Cu.Meters	\$	\$	\$	\$	%
Gravel -Clear -HPB 1/4"	0.25 Metric Tons	\$	\$	\$	\$	%
NATURAL STONE WORK						
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Coping -Wiarton 02" thick	12 Sq.Ft	\$	\$	\$	\$	%
Ledgerock -Wiarton	24 Fc.Ft	\$	\$	\$	\$	%
Cement -Type S	6 Bags	\$	\$	\$	\$	%
Sand -Brick	1 Metric Tons	\$	\$	\$	\$	%

CO#3 Carpentry - Pergola - Back Yard	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Carpentry Crew	Hours	\$	\$	\$	\$	%
Crew Truck - Carpentry	Days	\$	\$	\$	\$	%
Engineer	1 Each	\$	\$	\$	\$	%
Allowance – Glulam Beams	1 Each	\$	\$	\$	\$	%

CO#4 Credit- Fire Feature-Back Yard	Total Cost	Total Price	Profit Margin
	-\$	-\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	- Hours	\$	\$	-\$	-\$	%
Labour – Support	- Hours	\$	\$	-\$	-\$	%
Allowance – Fire Feature	-1 Each	\$	\$	-\$	-\$	%

CO#4 Credit -Planters	Total Cost	Total Price	Profit Margin
	-\$	-\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Allowance - 3 Ellis planters (16" x 36") and three sets of casters	-1	\$	\$	-\$	-\$	%

CO#5 Hardscape - New Column Footing at Driveway	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Crane - Oriole Crane Truck	Day	\$	\$	\$	\$	%
ZZ - Cement mixer	Day	\$	\$	\$	\$	%
Disposal -Concrete (Oriole Truck)	0.5 ton	\$	\$	\$	\$	%
Rebar 15mm - 20ft	1 Each	\$	\$	\$	\$	%

Sand -Brick	0.25 Metric Tons	\$	\$	\$	\$	%
Cement -Portland	1 Bag	\$	\$	\$	\$	%
Cement -Type S	1 Bags	\$	\$	\$	\$	%
Concrete Block 08"	12 Each	\$	\$	\$	\$	%

CO#5 Gas Supply to BBQ and Fire Feature	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
GAS - Scottish Gas Group	1 Each	\$	\$	\$	\$	%

CO# 5 Additional Fence Posts and Panels	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Cedar 2x04	108 L.Ft	\$	\$	\$	\$	%
Cedar 1x06 -06' - 6ft	51 Each	\$	\$	\$	\$	%
Cedar 4x04	22 L.Ft	\$	\$	\$	\$	%
Cedar -Lattice - 4ftx8ft	1 Each	\$	\$	\$	\$	%
Hardware 6ft Fence N.I.C Gates	18 Foot	\$	\$	\$	\$	%
Sonotube 10" - 12ft length	1	\$	\$	\$	\$	%
Concrete - Sakrete (Small Quantities - 50 lbs bag	6 Each	\$	\$	\$	\$	%
Disposal -Demolition Waste	0.5 ton	\$	\$	\$	\$	%

CO#6 Downspout Redirection and Drainage Work	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
Construction and Planting Crew	Hours	\$	\$	\$	\$	%
Drains -Catch Basin - 11"x11"x15.5"	2 Each	\$	\$	\$	\$	%

Drains -Weeping Tile 04"	40 Feet	\$	\$	\$	\$	%
ROOFING - Copper Downspout	1 Each	\$	\$	\$	\$	%
Cement -Portland	1 Bag	\$	\$	\$	\$	%

CO#7 Driveway Fixtures	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
LANDSCAPE LIGHTING	1 Each	\$	\$	\$	\$	%

CO#7 Outdoor Sound System Extension (Allowance)	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
LANDSCAPE LIGHTING	1 Each	\$	\$	\$	\$	%

CO#7 Industrial Coded Lock	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Fixtures -Allowance	1 Each	\$	\$	\$	\$	%

CO#8 Front Yard Spruce Tree	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Client Mgmt	Hours	\$	\$	\$	\$	%
LANDSCAPE LIGHTING	1 Each	\$	\$	\$	\$	%

CO#8 Outdoor Sound System Addition	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
LANDSCAPE LIGHTING	1 Each	\$	\$	\$	\$	%

CO#9 Site Accessory - Railing	Total Cost	Total Price	Profit Margin
	\$	\$	%

Name	Qty/Units	Unit Cost	Unit Price	Total Cost	Total Price	Pft. M.
Materials -Allowance	1 Each	\$	\$	\$	\$	%
Labour - Support	Hours	\$	\$	\$	\$	%

e) Permission and Declarations

- i) Permission to Contact the Client - Signed
- ii) Declaration – Signed

